

MODIFIED DETAILED AREA PLAN #2

Lots 34, 35, 800 & 859 Westfield Road SEVILLE GROVE

DETAILED AREA PLAN R-CODE VARIATIONS

Design Elements

The following matters apply, where required, in the design and construction of residence or outbuildings on lots identified within the boundary of this D.A.P.

- All dwellings to include two car parking spaces
- Unless otherwise approved by the Armadale Redevelopment Authority, all dwellings, garages, carports and/or parking space locations, shall be constructed within the nominated building envelopes
- Alternative building envelope and garage, carport and/or parking space locations may be approved by the Armadale Redevelopment Authority where considered appropriate, having regard for improved streetscape outcomes, improved sustainability outcomes and pedestrian/traffic safety matters
- Where variations are sought, the proponent must provide adequate information for the Armadale Redevelopment Authority to assess the appropriateness of the variations against the matters listed above.

R - Coding

The Residential Density Code which applies to the land is R40

R - Code Variations

The Armadale Redevelopment Scheme, Residential Design Codes and associated Residential Development Guidelines for the Champion Drive Precinct are varied as shown on this Detailed Area Plan. The requirements of the ARA Scheme, R-Codes and Guidelines shall be satisfied in all other matters

Setbacks

Setbacks for the construction of improvements upon the land will not be other than in accordance with the following.

Front	2.0 metre minimum setback 3.0 metre average setback Garage/Carport as per ARA Guidelines
Rear/LaneWAY	1.0 metre minimum dwelling setback zero metre minimum garage setback 1 metre maximum garage setback
Rear	As per Residential Design Codes (for lots other than laneWAY lots)
Side	A nil setback is also permitted on the side boundaries identified on the DAP, developed otherwise in accordance with Design Element 6.3 of the R-Codes Second storey setbacks shall accord with standard R-Code requirements and ARA Residential Design Guidelines.
Secondary Street	1.5 metre minimum

Site Coverage

All construction on the land will ensure that 40% of the site comprises Open Space.

Driveways

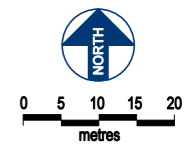
Each residence is to have a driveway and crossover completed by the purchaser prior to occupation. The maximum width of any crossover shall be 5 metres at the property boundary and 7 metres at the street where access is from the primary street. No maximum width will apply where access is from a laneWAY.

Estate Fencing

Estate fencing is to be provided by the Vendor in the locations depicted on the Detailed Area plan. Where provided by the Vendor, estate fencing is not to be removed or altered in any way.



Department of Housing and Works & Champion Drive Joint Venture : CLIENT
1:1,000@A3 : SCALE
23 April 2009 : DATE
3174-4-002c.dgn : PLAN No
c : REVISION
L.R. : PLANNER
M.H. : DRAWN



Base data supplied by Guidice Surveys, Projection PCG94
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