






AS 3959-2009 BAL Ratings for Building Purposes

GENERAL PROVISIONS	
The provisions of this Local Development Plan (LDP) should be read in conjunction with the requirements of the Residential Design Codes (R-Codes).	
This Local Development Plan (LDP) prescribes required all permissible variations to the R-Codes. The applicable R-Code is R40.	
BUSHFIRE MANAGEMENT	
Dwellings identified in the approved Fire Management Plan shall be constructed to the appropriate Bushfire Attack Level (BAL) rating in accordance with Australian Standard 3959, as shown in this LDP.	
SETBACKS	
All lots within Stage 2B may have a reduced primary setback with an average of 3m and a minimum of 2m.	
On all subject lots, boundary walls (parapets) are permitted to both side boundaries, regardless of length and excluding prescribed front and rear setbacks, subject to:	
<ol style="list-style-type: none"> 1) compliance with height provisions of the R-Codes; 2) each dwelling being designed to provide a high level of architectural detail and variations in materials and/or colours, to the front elevation; 3) structural engineering certification for buildings abutting or over retaining walls. 	
NB: This provision does not apply to secondary street boundaries.	
OPEN SPACE & SOLAR ORIENTATION	
All lots subject to this LDP shall have a reduced open space requirement of 40%.	
Lots 73-80 (inclusive) shall locate their outdoor living areas to the most northeast or northwest area of the lot.	
LEGEND	
	LDP Boundary
	All buildings within this area are to be constructed to AS.3959-2009 BAL 12.5
	Side boundaries where zero building setbacks apply
	Mandatory garage location
	Dwellings subject to State Planning Policy 5.4 noise mitigation measures in accordance with "Package A" for ground and any upper floors.
See attached "deemed to comply" requirements.	

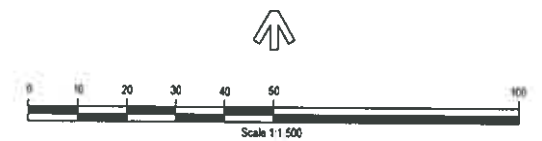


PRELIMINARY ONLY

The Local Development Plan has been certified by the Council under Clause 6.2.15 of Town Planning Scheme No. 3:

Co-ordinator, Statutory Planning
City of Cockburn

J.P. @
Date: 12/11/2016



LOCAL DEVELOPMENT PLAN - STAGE 2B

13.11.2015
151113 JC-57 DAP-Stage 2B
John Chapman Town Planning Consultant
PO Box 1130 Subiaco WA 6904 - Tel 0409 757 787