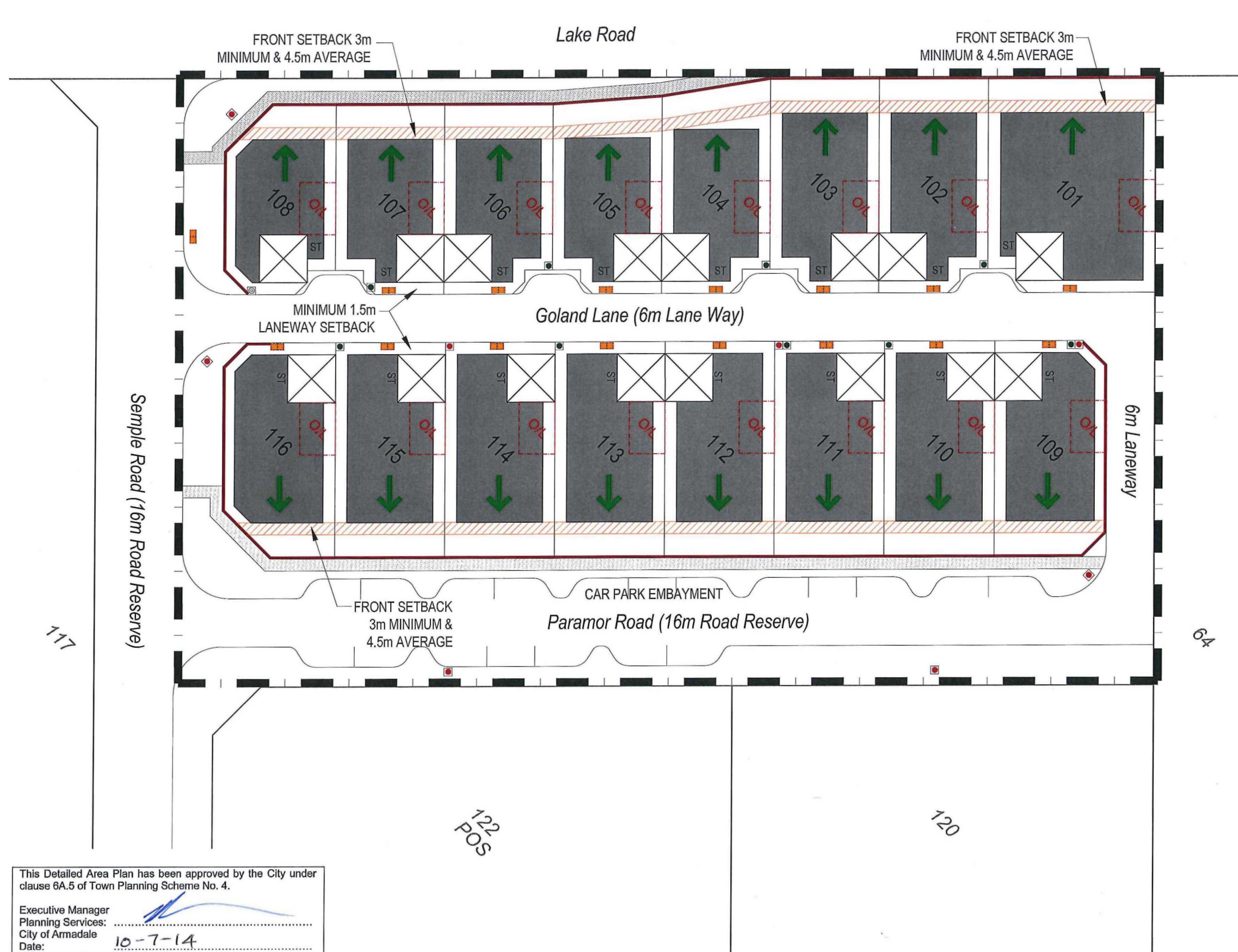


- DETAIL AREA PLAN R-CODE VARIATIONS**
- General Provisions**  
All lots are to be developed in accordance with R25 standards, unless otherwise identified on the DAP.
- Design Elements**
- Dwellings are required to suitably address all adjacent streets (excluding laneways) through the use of major openings to habitable rooms.
  - Secondary street elevations shall feature a suitable level of detail including windows in a manner consistent with the primary street elevation.
  - Dwellings shall be designed to address the primary street frontage with the main entry accessed via this frontage.
  - Lots are to be constructed with a store area (minimum 4 m<sup>2</sup>) under the main roof of the dwelling or garage and be accessible from either the exterior or within the garage area in accordance with the R-Codes.
  - Vehicular access shall only be permitted from the rear Laneway.
  - A bin pad shall be provided at a nil setback from the Laneway.
  - UNIFORM ESTATE BOUNDARY FENCING.**  
*Note: Uniform Estate fencing will be constructed by the developer.*
    - Estate provided fencing/retaining on private lots shall not be modified and shall be maintained as visually permeable by landowners where applicable.
    - Other than landscaping treatments (e.g. hedges), screening of the open style portions of the uniform estate fencing is not permitted (e.g. bamboo, shade-cloth, colorbond panels etc).
  - INCIDENTAL DEVELOPMENT.**
    - All letter boxes and house numbers shall address the primary street, and not the laneway or POS frontage.
    - Clothes drying, storage areas and ground based hot water storage tanks are to be screened from public view, including the street frontages and POS.



This Detailed Area Plan has been approved by the City under clause 6A.5 of Town Planning Scheme No. 4.

Executive Manager  
Planning Services:  
City of Armadale  
Date: 10-7-14

