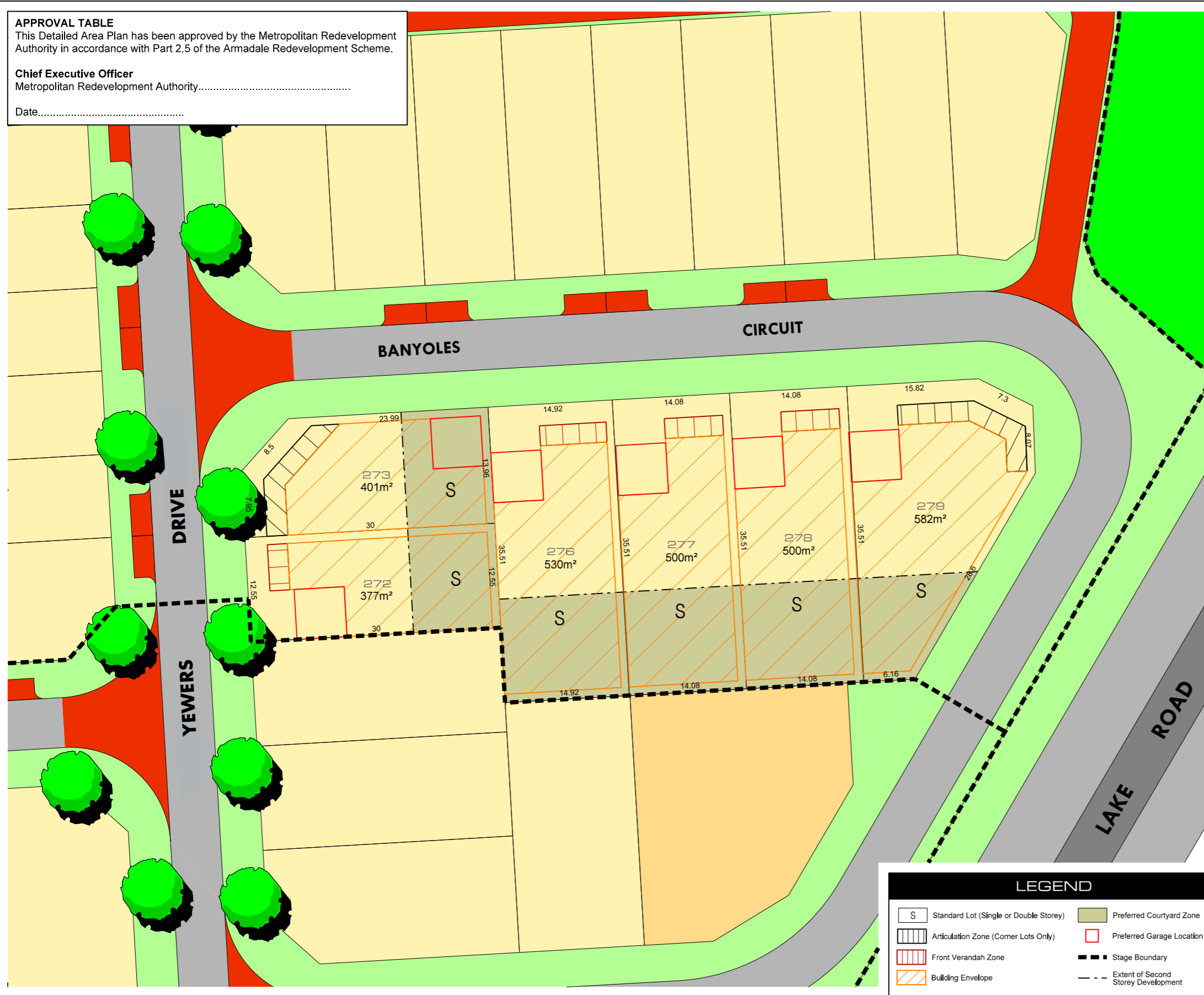


APPROVAL TABLE
 This Detailed Area Plan has been approved by the Metropolitan Redevelopment Authority in accordance with Part 2.5 of the Armadale Redevelopment Scheme.

Chief Executive Officer
 Metropolitan Redevelopment Authority.....

Date.....



PROVISIONS

- 1. GENERAL REQUIREMENTS**
 The following matters apply, where required, in the design and construction of a residence or outbuildings on the Standard Lots included within Stage 6 of Champion Lakes Estate:
 - Unless otherwise approved by the Metropolitan Redevelopment Authority, all dwellings and garages shall be constructed within the nominated building envelopes.
 - Alternative building envelope and garage locations may only be approved by the Redevelopment Authority where considered appropriate, having regard for improved streetscape outcomes, improved sustainability outcomes and pedestrian/traffic safety matters.
 - Where variations are sought, the proponent must provide adequate information for the Redevelopment Authority to assess the appropriateness of the variations against the matters listed above.

2. R-CODE VARIATIONS
 The Armadale Redevelopment Scheme, Residential Design Codes and associated Residential Development Guidelines for the Champion Lakes Precinct are varied as shown on this Detailed Area Plan. The requirements of the Scheme, R-Codes and Guidelines shall be satisfied in all other matters.

3. UNIT ENTITLEMENT
 Notwithstanding the size of a lot, unless it is identified as a Grouped Housing site on the approved DAP, only one dwelling is permitted to be constructed on each allotment.

4. GENERAL AND MANDATORY PROVISIONS

GENERAL	
a) R-Coding:	Residential 'R40'
b) Maximum Site Coverage:	60%
MANDATORY DESIGN ELEMENTS:	
c) Minimum Outdoor Living Space:	20m ² with minimum dimension of 4.0m x 5.0m
d) Front Porches/Verandas:	i. Depth: Minimum 2.4m; and ii. Length: Minimum 4.0m or 50% of frontage (whichever is the greater)
e) Materials and Colours:	External materials and colours to be chosen from the Estate Material and Colour Palette.
f) Building Height:	Double storey restricted to within the front 60% of the lot depth.

5. BUILDING SETBACKS
 Setbacks for the construction of improvements upon the land will not be other than in accordance with the following:

	Minimum	Maximum
a) Primary Street Frontage:		
i. Porch/Veranda:	2.5m	n/a
ii. Dwelling:	3.0m	5.0m
b) Secondary Street:	1.0m	n/a
c) Internal Side Boundaries:	Parapet walls are restricted to the locations depicted on the DAP, constructed otherwise in accordance with Design Principle 5.1.3 of the R-Codes.	

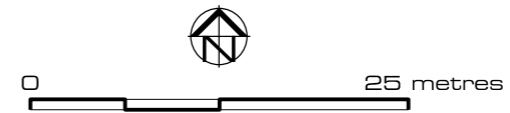
6. LOT LEVELS
 The finished floor level of the dwelling pad shall be a minimum of 200mm and a maximum of 450mm above natural ground level.

- 7. CHAMPION LAKES RESIDENTIAL DESIGN GUIDELINES**
 The following Design Elements shall refer to the Champion Lakes Residential Design Guidelines for specific requirements:
- Driveways
 - Fencing
 - Landscaping
 - Ancillary Structures
 - Outbuildings



CHAMPION LAKES

Stage 6 - Standard Lots
 Detailed Area Plan



Scale 1:500@A3 Date: 06/02/2014 Plan No: LCPL-4-005c

