

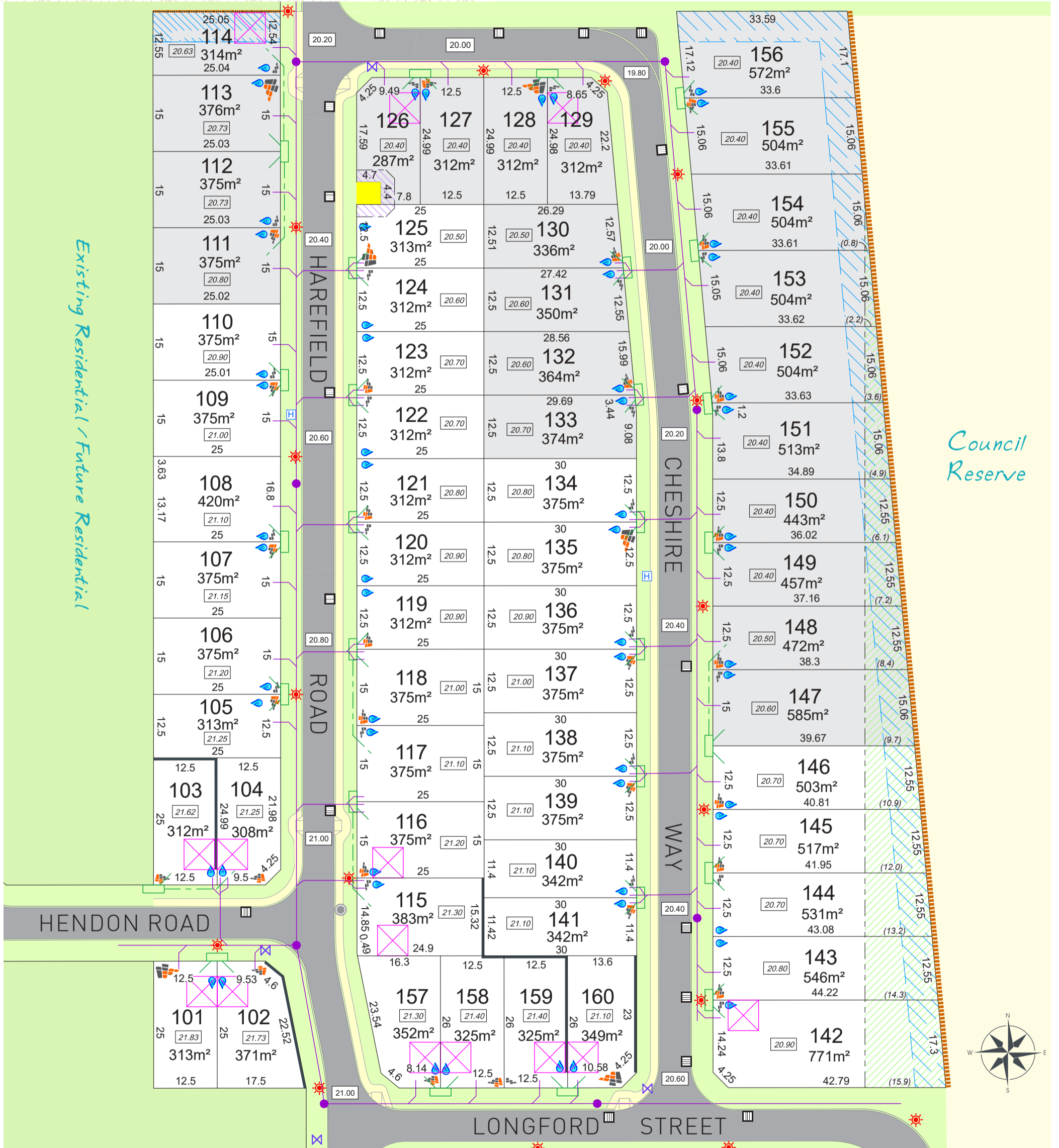
# GOLDEN VINES

— PRIVATE ESTATE —

HAREFIELD PRECINCT IV

## Estate Plan

PRELIMINARY



Existing Residential / Future Residential

Council Reserve



- |                         |                            |                         |                            |                                 |  |                              |
|-------------------------|----------------------------|-------------------------|----------------------------|---------------------------------|--|------------------------------|
| ○ Stage 1               | Footpath                   | Drainage Manhole        | Water Connection           | Street Light                    | Padmount Site with Restricted Covenant | Gas Buffer zone              |
| ○ Stage 2               | Retaining Wall             | Combined Side Entry Pit | Hydrant                    | Mini Pillar & connection        | Lot Level                              | Approximate depth            |
| ○ Development by Others | Sewer Manhole / Connection | Drainage Grate          | Valve                      | Uni Pillar & connection         | Road Level                             | 6m wide Building Restriction |
|                         | Garage Location            |                         | NBN Co. Network Connection | 2.0m High fence to be installed |  |                              |

THE PARTICULARS ON THIS BROCHURE ARE SUPPLIED FOR IDENTIFICATION PURPOSES ONLY AND SHALL NOT BE TAKEN AS A REPRESENTATION IN ANY RESPECT ON THE PART OF THE SELLERS OR IT'S AGENTS. AUTHORITIES SHOULD BE CONSULTED WHEN SERVICES ARE CONTAINED WITHIN LOT BOUNDARIES AS BUILDING RESTRICTIONS MAY APPLY. SOME SERVICES MAY NOT BE SHOWN, AS ENGINEERING DESIGN IS STILL TO BE FINALISED. TREES ARE INDICATIVE ONLY. MNG. REF: 104544SA-005J DATE: 24/05/2023



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