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PROVISIONS

This Local Development Plan (LDP) applies to Lots 101-106, 132-140, 179-193, 208-211 and 227-229 within Highland Range Estate.

Unless otherwise defined on this LDP, all development shall be in accordance with the City of Swan Local Planning Scheme No. 17 and the provisions of the Residential Density Codes (R-Codes) R20 density code.

The Residential Design Codes do not apply where varied below.

Variations to the R-Code provisions, in accordance this LDP, do not require consultation with adjoining/other landowners.

Where there is inconsistency between the requirements of LPS 17 and/or the R-Codes with this LDP, the provisions of this LDP prevail to the extent of any inconsistency.

Open Space

1. A minimum of 40% Open Space applies to all lots.

Street Setbacks

2. Primary Street Setback - 2.5 metre minimum with a 5.0 metre average.
3. Setbacks do not apply to eaves.

Garages

4. Garages are to be setback a minimum of 6.0 metres from the primary street (1.0 metres behind the dwelling line) and are not to be forward of the dwelling alignment. Garages may be aligned with the dwelling provided they do not exceed the garage setback line.

5. Garages are to be setback 1.5 metres from the secondary street.

*Garage setbacks should be determined on a site specific basis and may require greater than 6 metres where constrained by topography. Designers and Builders should ensure that the City of Swan Driveway Gradient Standards (STD 29-3s and STD 29-1s) are achieved prior to lodging a Building Permit.

Drainage

6. All dwellings are to be connected into the road drainage network. Connection of the dwelling is to be at the connection pit provided within the lot and is the responsibility of the owner. Building plans are to identify lot connection details when making application for a building licence to the City of Swan.

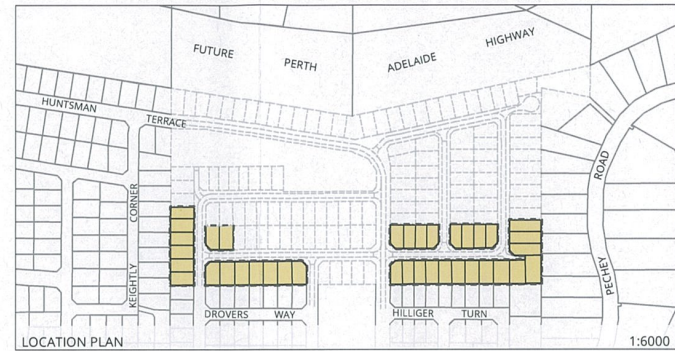
This Local Development Plan has been approved by Council under the provisions of the City of Swan Local Planning Scheme No. 17.

Manager Statutory Planning

Date: 29/11/18

LEGEND

- - - LOTS SUBJECT TO THIS LDP	RESIDENTIAL - R20
— PROPOSED LAYOUT	- - - 5.0m PRIMARY STREET SETBACK
— EXISTING LOT BOUNDARIES	- - - RETAINING WALL LOCATIONS
- - - FUTURE SUBDIVISION LAYOUT	⊗ DESIGNATED GARAGE LOCATIONS
7 LOT NO.	— FOOTPATH LOCATIONS
7 EXISTING LOT NO.	



LOCAL DEVELOPMENT PLAN - STAGE 1
 HIGHLAND RANGE
 JANE BROOK

CITY OF SWAN
 20 NOV 2018
RECEIVED

0 18.75 37.5
 SCALE @ A3: 1:1500
7846-LDP-01-B



7846-LDP18-20181101 (LDP Stage 1) DRAWN: FORBES CHESTEMAN DATE CREATED: 2018.11.01 PROJECTION: MAGS00 QD484 CADASTRE LANDGATE - 2018.11.01