

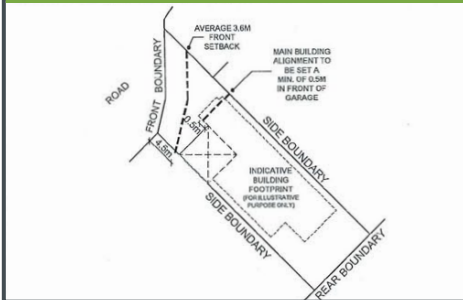
## Location Plan



## Legend

- LDP SUBJECT AREA
- UNIFORM FENCING TYPE 1
- UNIFORM FENCING TYPE 2
- ☒ DESIGNATED GARAGE LOCATION
- PRIMARY BUILDING ORIENTATION
- RETAINING WALL
- R30 CODED LOTS
- R40 CODED LOTS

## Lot 329 Illustrative Configuration



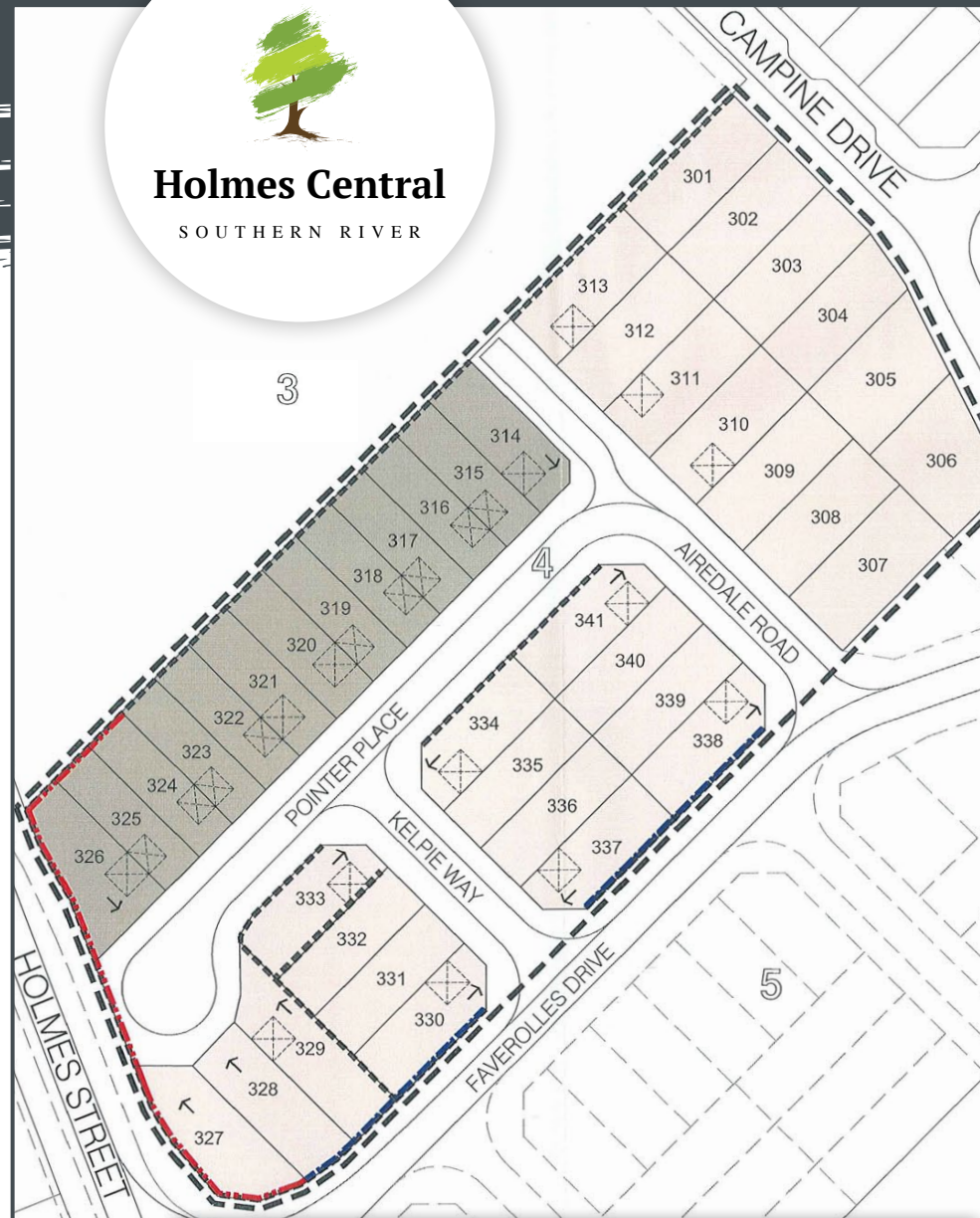
## Signature Panel

Pursuant to Part 6 of the Planning and Development (Local Planning Schemes) Regulations 2015, this Local Development Plan is hereby approved.

*[Signature]*  
COORDINATOR PLANNING IMPLEMENTATION  
Senior Planner  
17.2.2017  
DATE

## Holmes Central

SOUTHERN RIVER



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## Local Development Plan Provisions

The provisions addressed below and accompanying plan relate to the WAPC approved Plan of Subdivision for lot 4 Holmes Street, Southern River (O/VAPC Ref: 151824).

This Local Development Plan has been prepared in place of planning approval for single residential development where it meets:

- i) The requirements of the Residential Design Codes.
- ii) The standards of Performance Criteria as stated in the City of Gosnells Local Planning Policy LPP 1.1.1 - Residential Development Policy.
- iii) This Local Development Plan.

The acceptable development requirements of the WAPC Residential Design Codes (as amended), Town Planning Scheme No.6 (as amended) and the City of Gosnells Policies are required to be satisfied except where this Local Development Plan provided variations.

### SETBACKS

ALL LOTS		
	Minimum	Average
Dwelling primary street	2.0m	3.6m
Garage primary street	4.5m and a minimum 0.5m behind front building alignment	N/A
Side boundaries	Nil permitted for 2/3 the length of both side boundaries behind front setback line provided: • Wall on the boundary are not higher than 3.5m with an average of 3.0m; and • The overshadowing performance criteria of LPP 1.1.1 are being met.	

**GARAGES AND VEHICLE ACCESS**  
Garages to be located in accordance with the nominated location on the Local Development Plan. Minor discretion to garage location may be applied.

1. The garages for lots 314, 320 & 321, 327-329, 331 & 332, 335 & 336 and 339 & 340 are permitted to exceed 50% up to a maximum of 60% (including supporting

structures) of the lot frontage provided the following criteria being met:

- The front door and a major opening to a habitable room of the building are clearly visible to the street;
  - The building facade includes an entry feature consisting of a porch or veranda with a minimum depth of 1.2m; and
  - The vehicle crossover shall not be wider than 4.5m where it meets the street.
2. No vehicle access is to be obtained from Holmes Street (lots 326 & 327) or Faverolles Drive (lots 327-330, 337 & 338).

### OPEN SPACE

3. No minimal site cover standards apply provided:
  - An outdoor living area (OLA) with a minimum area of 28.8m<sup>2</sup> is provided for R30 coded lots;
  - An OLA with a minimum area of 24m<sup>2</sup> is provided for R40 coded lots;
  - The OLA has a minimum length and width dimension of 4.0m; and
  - The deemed-to-comply provisions in sections 5.1.2 and 5.1.3 of LPP 1.1.1 are being met.

### UNIFORM FENCING

4. All uniform fencing to be provided by the developer.
  - Uniform fencing type 1: Solid fencing to a maximum height of 2000mm (measured from finished lot level).
  - Uniform fencing type 2: Fencing to a maximum height of 1800mm (measured from finished lot level).
5. Modification to uniform fencing installed by the developer is not permitted.

### NOISE ATTENUATION

6. Noise attenuation measures may be required in accordance with recommendations of any acoustic assessment prepared in accordance with the requirements of State Planning Policy 5.4 - Road and Rail Transport Noise and Freight Considerations in Land Use Planning.



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## Local Development Plan

Lot 4 Holmes Street, Southern River (WAPC Ref: 151824)

Scale 1:1,000 @ A3



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PROJECT NO: PA0915  
DATE: 27.01.2017  
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REV: 4