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SURVEY STRATA PLAN 59553

SHEET 1 OF 2 SHEETS

VER.	AMENDMENT	AUTHORISED BY	DATE
2	AUDIT REQUIREMENTS	N. PAUL	30.11.2011

PLAN OF
LOT 501 ON DP 60103

CERTIFICATE OF TITLE
VOL 2744 FOL 713

LOCAL GOVERNMENT
CITY OF ARMADALE

INDEX PLAN BG34 (2) 22.04

FIELD BOOK 115607

SCALE 1:400 AT A3

NAME OF SCHEME
SHERWOOD CENTRO

ADDRESS OF PARCEL
297 RAILWAY AVENUE
ARMADALE
WA 6112

MANAGEMENT STATEMENT YES ◉ NO ○

LODGED
DATE 14-Nov-11
FEE PAID $1219.00
ASSESS No. 9702344

CERTIFIED CORRECT 30.11.11
COR. FILE TRIM: LF

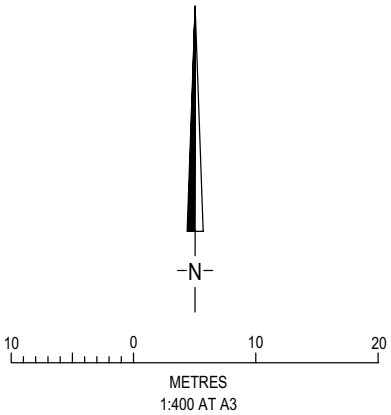
IN ORDER FOR DEALINGS
SUBJECT TO
Lodgement of Form 3
Lodgement of Management Statement

FOR REGISTRAR OF TITLES 16.12.11
DATE

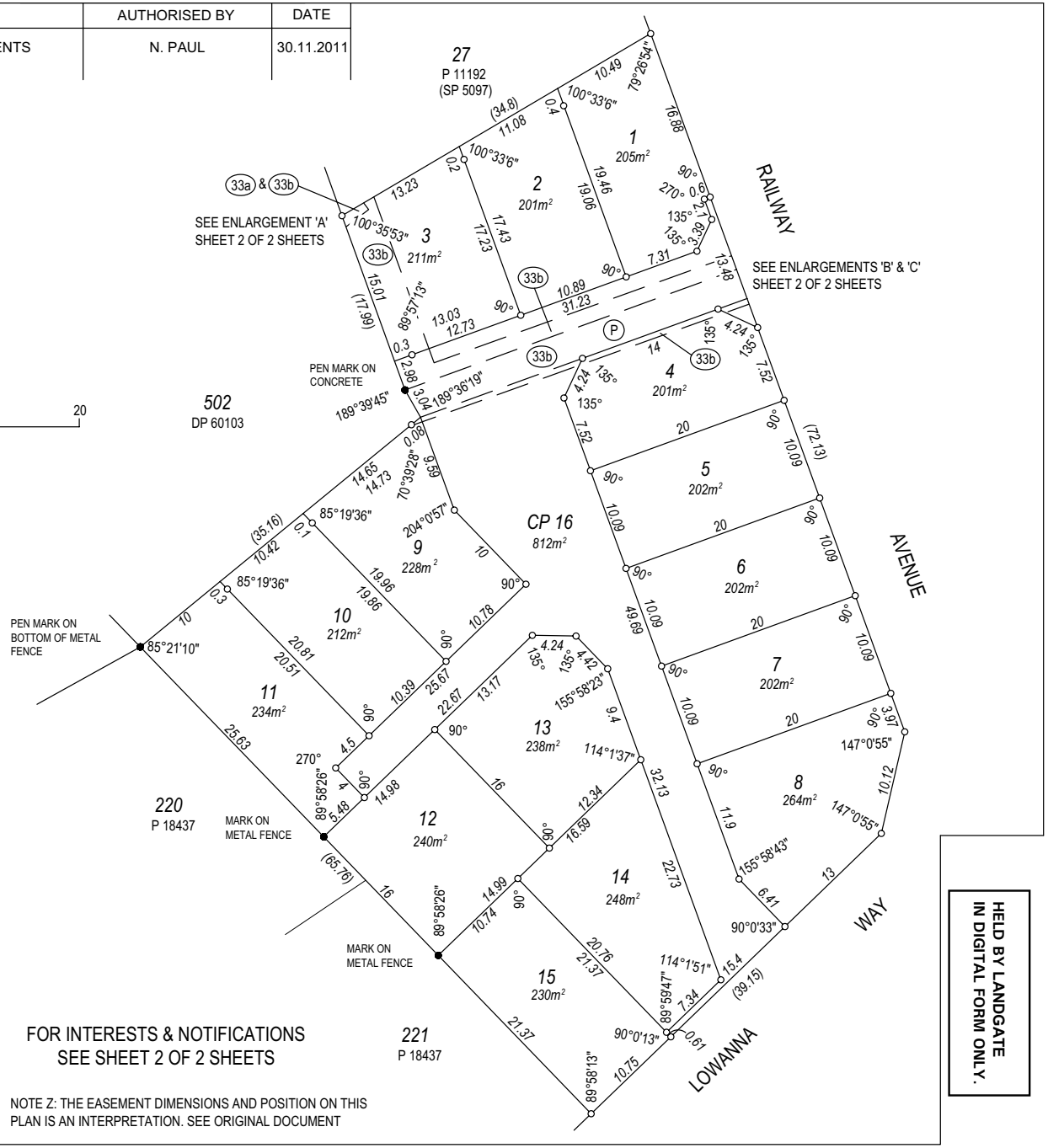
L853698 APPLICATION
9.2.2012 DATE
REGISTERED
REGISTRAR OF TITLES
SEAL

WESTERN AUSTRALIAN PLANNING COMMISSION
W.A.P.C. REF: 1809-07
Certificate of Approval of W.A.P.C. under Section 25B(2) of Strata Titles Act 1985
Delegated under S.16 P&D Act 2005 13-Dec-2011
DATE

Landgate
Western Australian Land Information Authority



○ DENOTES PEG
● DENOTES PEN MARK



FOR INTERESTS & NOTIFICATIONS
SEE SHEET 2 OF 2 SHEETS

NOTE Z: THE EASEMENT DIMENSIONS AND POSITION ON THIS PLAN IS AN INTERPRETATION. SEE ORIGINAL DOCUMENT

Cardno Spectrum Survey
ABN 70 009 218 231
11 HARVEST TERRACE, WEST PERTH W.A. 6005
TEL: (08) 9273 3888 FAX: (08) 9486 8664
email: perth@cardno.com.au
REF: 207451 SP02 Rev3.dwg

SURVEYOR'S CERTIFICATE - Reg 54
I, N.PAUL
hereby certify that this plan is accurate and is a correct representation of the -
(a) *survey; and/or
(b) *calculations from measurements,
[*delete if inapplicable]
undertaken for the purposes of this plan and that it complies with the relevant written law(s) in relation to which it is lodged.
2011.11.30 11:13:34 +08'00'
LICENSED SURVEYOR DATE

HELD BY LANDGATE IN DIGITAL FORM ONLY.

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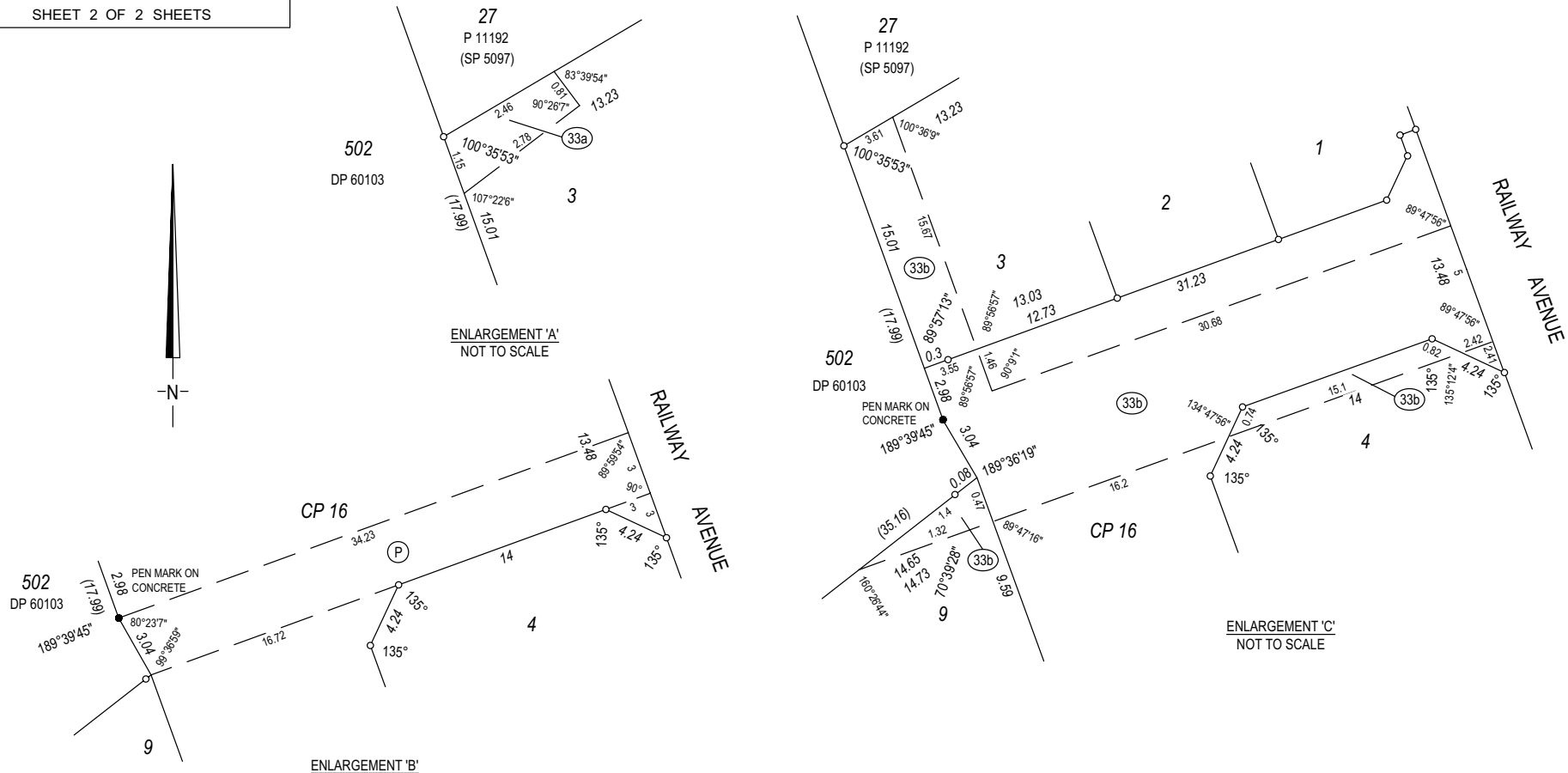
SURVEY STRATA PLAN
59553
SHEET 2 OF 2 SHEETS



○ DENOTES PEG
● DENOTES PEN MARK

NOTE Z: THE EASEMENT DIMENSIONS AND POSITION ON THIS PLAN IS AN INTERPRETATION. SEE ORIGINAL DOCUMENT

INTERESTS AND NOTIFICATIONS

SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN	LAND BURDENED	BENEFIT TO	COMMENTS
33a	EASEMENT (DRAINAGE)	SEC 167 OF THE P & D ACT REG. 33(a)	DP 60103	LOT 3	CITY OF ARMADALE	SEE 'Z' NOTE
33b	EASEMENT (SEWERAGE)	SEC 167 OF THE P & D ACT REG.33(b)	DP 60103	LOTS 3, 4, 9 & CP 16	WATER CORPORATION	SEE 'Z' NOTE
P	RIGHT OF CARRIAGEWAY	SEC 136C OF THE TLA	DP 60103	CP 16	LOT 502	SEE 'Z' NOTE

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FORM 3

SURVEY-STRATA PLAN No. 59553							
Schedule of Unit Entitlement		Office Use Only		Schedule of Unit Entitlement		Office Use Only	
		Current Cs of Title				Current Cs of Title	
Lot No,	Unit Entitlement	Vol.	Fol.	Lot No,	Unit Entitlement	Vol.	Fol.
1	59	2786 -	343	15	69	2786 -	357
2	61	2786 -	344	CP16	COMMON PROPERTY		
3	62	2786 -	345				
4	60	2786 -	346				
5	60	2786 -	347				
6	60	2786 -	348				
7	60	2786 -	349				
8	76	2786 -	350				
9	72	2786 -	351				
10	67	2786 -	352				
11	73	2786 -	353				
12	75	2786 -	354				
13	72	2786 -	355				
14	74	2786 -	356				
				Aggregate	1,000		

DESCRIPTION OF PARCEL

Lot 501 on DP60103

CERTIFICATE OF LICENSED VALUER
SURVEY-STRATA

I, **Jeremy Paget Shellabear**, being a Licensed Valuer licensed under the *Land Valuers Licensing Act 1978* certify that the unit entitlement of each lot (in this certificate, excluding any common property lots), as stated in the schedule bears in relation to the aggregate unit entitlement of all lots delineated on the plan a proportion not greater than 5% more or 5% less than the proportion that the value (as that term is defined in section 14 (2a) of the *Strata Titles Act 1985*) of that lot bears to the aggregate value of all the lots delineated on the plan.

2011.11.30
10:18:37 +08'00'

Date Signed

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FORM 8

ANNEXURE `A´ OF STRATA PLAN No. 59553 REGISTRAR OF TITLES

SCHEDULE OF DEALINGS ON Survey-Strata Plan

Dealings registered or recorded on Survey-Strata Plan	Instrument				Signature of Registrar of Titles
	Nature	Number	Regist'd	Time	

Note: Entries may be affected by subsequent endorsements.

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FORM 8

ANNEXURE `B´ OF SURVEY-STRATA PLAN No. 59553 REGISTRAR OF TITLES

SCHEDULE OF ENCUMBRANCES ETC.

Instrument			Regist'd	Signature of Registrar of Titles	Cancellation				
Nature	Number				Nature	Number	Regist'd	Time	Signature of Registrar of Titles
		EASEMENT BURDEN CREATED UNDER SECTION 167 P&D ACT FOR SEWERAGE PURPOSES TO WATER CORPORATION-							
		SEE SURVEY STRATA PLAN 59553 AS CREATED ON DEPOSITED PLAN 60103.		BGRoberts					
		EASEMENT BURDEN CREATED UNDER SECTION 167 P&D ACT FOR DRAINAGE PURPOSES TO CITY OF ARMADALE-							
		SEE SURVEY STRATA PLAN 59553 AS CREATED ON DEPOSITED PLAN 60103.		BGRoberts					
		EASEMENT BURDEN CREATED UNDER SECTION 136C OF TLA FOR RIGHT OF CARRIAGEWAY PURPOSES. SEE SURVEY							
		STRATA PLAN 59553 AS CREATED ON DEPOSITED PLAN 60103.		BGRoberts					
STATEMENT	L853699	MANAGEMENT STATEMENT	9.2.2012	BGRoberts					

Note: Entries may be affected by subsequent endorsements.

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