

LOCAL DEVELOPMENT PLAN – RAVENSWOOD GREEN PRIVATE ESTATE NORTHERN PRECINCT

LOT 9010 OLD MANDURAH ROAD, RAVENSWOOD (WAPC REF: 150443)

The provisions of the Shire of Murray Local Planning Scheme No. 4 and State Planning Policy 3.1 *Residential Design Codes* are varied as detailed in this Local Development Plan (LDP). All other requirements of the Local Planning Scheme and R Codes shall be satisfied.

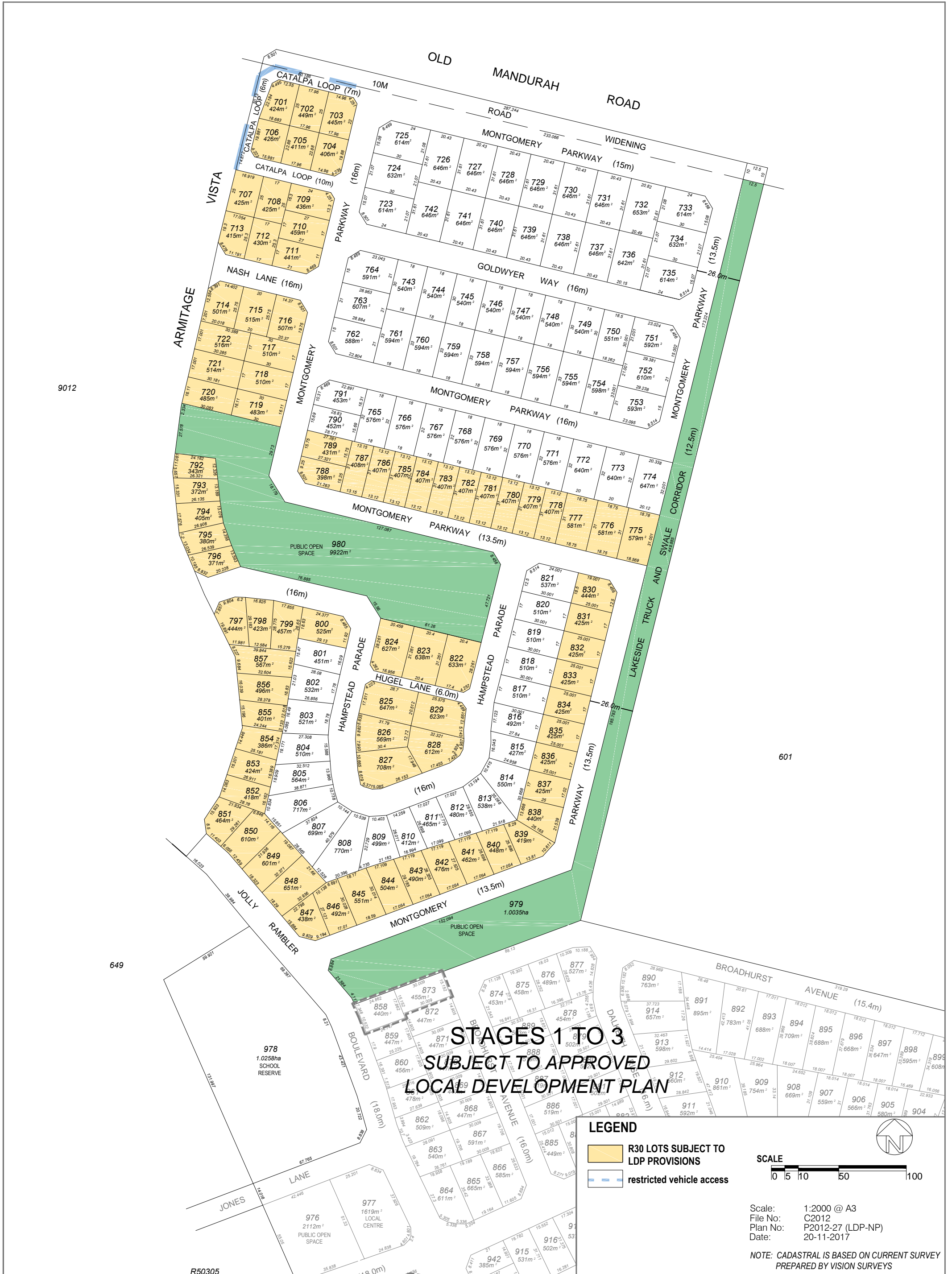
R30 CODED LOTS			
DESIGN PRINCIPLE	R CODE REFERENCE	VARIATION/ADDITIONAL REQUIREMENT TO R CODE DEEMED-TO-COMPLY REQUIREMENT	
STREET SETBACK AND FRONT FENCES	5.1.2 - C2.1 to C2.4	Street setback:	2.0m minimum, no average
		Porch, balcony, verandah setback:	1.5m, no maximum length
		Secondary street setback:	1.0m minimum
		Front fences:	Front fences within the primary setback street area being a maximum height of 900mm above natural ground level (NGL), measured from the primary street side of the front fence. (NGL as defined by SPP 3.1 – Residential Design Codes.)
LOT BOUNDARY SETBACK	5.1.3 – C3.1 and C3.2	Boundary Setbacks	
		Wall height with major openings: Wall height without major openings:	1.2m for wall height of 3.5m or less with major openings. 1.0m for wall height of 3.5m or less without major openings.
		Boundary Walls	
		Wall height of 3.5m or less:	Walls may be built to both side boundaries subject to: 2/3 length of the balance of the lot boundary to one side boundary and 1/3 maximum length of the balance of the lot boundary to second side boundary.
OPEN SPACE	5.1.4 – C4	Outdoor Living Area (OLA):	<ul style="list-style-type: none"> - OLA with an area of 10% of the lot size or 20m², whichever is greater, directly accessible from a habitable room of the dwelling and located behind the street setback area. - At least 70% of the OLA must be uncovered and includes areas under eaves which adjoin uncovered areas. - The OLA has a minimum 3.0m length or width dimension. - No other R Codes site cover standards apply.

LOCAL DEVELOPMENT PLAN – RAVENSWOOD GREEN PRIVATE ESTATE
Northern Precinct *(continued)*

R30 CODED LOTS <i>(continued)</i>			
DESIGN PRINCIPLE	R CODE REFERENCE	VARIATION/ADDITIONAL REQUIREMENT TO R CODE DEEMED-TO-COMPLY REQUIREMENT	
PUBLIC OPEN SPACE INTERFACE	Additional Requirement 5.1.3	Dwellings constructed on lots which have a shared common boundary with public open space (POS) shall be developed in accordance with the following provisions: <ul style="list-style-type: none"> - an OLA and habitable room with a major opening orientated towards the POS; - outbuildings, pool pumps/filters or utility areas (including clothes drying areas and hot water systems) are not to be located between the dwelling and the POS boundary; and - fencing along the POS boundary is to be visually permeable above 1.2m. 	
GARAGE SETBACK AND WIDTH AND VEHICULAR ACCESS	5.2.1 – C1.1 to C1.5 5.2.2 - C2	Street setback for garage:	<ul style="list-style-type: none"> - 4.5m - The garage setback from the primary street may be reduced to 4.0m where an existing or planned footpath or shared path is located more than 0.5m from the street boundary.
			<p>For lots with street frontages between 10.5m and 12.0m, a double garage is permitted to a maximum width of 6.0m as viewed from the street subject to:</p> <ul style="list-style-type: none"> - Garage setback a minimum of 0.5m behind the building alignment. - A major opening to a habitable room directly facing the primary street. - An entry feature consisting of a porch or verandah with a minimum depth of 1.2m; and - No vehicle crossover wider than 4.5m where it meets the streets. <p>Lots with a frontage less than 10.5m or not compliant with above require single or tandem garaging.</p>
		Secondary street:	1.5m
OVERSHADOWING	5.4.2 – C2.1	Wall height of 3.5m or less:	No maximum overshadowing.
		Wall height greater than 3.5m:	No maximum overshadowing for wall height where overshadowing is confined to the front half of the lot. If overshadowing intrudes into rear half of the lot, shadow cast does not exceed 35%.

LOCAL DEVELOPMENT PLAN – RAVENSWOOD GREEN PRIVATE ESTATE
Northern Precinct *(continued)*

R30 CODED LOTS <i>(continued)</i>		
DESIGN PRINCIPLE	R CODE REFERENCE	VARIATION/ADDITIONAL REQUIREMENT TO R CODE DEEMED-TO-COMPLY REQUIREMENT
PRIVACY	5.4.1 C1.1	R Codes 5.4.1 C1.1 applies, however the setback distances are:
		Major openings to bedrooms and studies: 3.0m
		Major openings to habitable rooms other than bedrooms and studies: 4.5m
		Unenclosed outdoor active habitable spaces: 6.0m
VEHICLE ACCESS RESTRICTIONS	Additional Requirement	<ul style="list-style-type: none"> - Vehicles are not permitted to directly access the lots on Catalpa Loop from the intersection of Old Mandurah Road and Armitage Vista. Access to Catalpa Loop is permitted via the internal road system only. - No direct vehicle access is permitted to or from Lot 707 from Armitage Vista.



LOCAL DEVELOPMENT PLAN - NORTHERN PRECINCT
Ravenswood Green
 LOT 9010 OLD MANDURAH ROAD, RAVENSWOOD
 PREPARED FOR DJM RAVENSWOOD PTY LTD