



## DESIGN GUIDELINES 2017

**In order to create a liveable community and to encourage home design excellence in Sunrise at Wellard, the following design guidelines set out the minimum standards and conditions under which residential development within the estate will be approved. Compliance with the design guidelines will give Sunrise at Wellard a strong, attractive identity and protect your investment in your new home.**

### **BUILDING PLAN APPROVAL PROCESS**

PDFs of A3 sized building plans (site, floor and elevation plans and details of building materials and colours) must be submitted via e-mail to Amex Corporation's consultant, WA Approvals ([plans@designapprovals.com.au](mailto:plans@designapprovals.com.au)) for approval prior to submitting an application with the City of Kwinana for a building licence. Plans will be assessed in accordance with annexure 'B' – restrictive covenants and the estate design guidelines to ensure that the plans appropriately comply.

If deemed compliant, approved plans will be stamped and returned to the applicant for submission to the City of Kwinana for assessment. If refused, Amex Corporation will provide recommendations in the form of a checklist about how compliance with the guidelines may be achieved.

The existence of a Local Development Plan (LDP) will take precedence over these guidelines. Differing requirements may apply to lots with less than 13 metre frontages.

All lots are subject to compliance with City of Kwinana Policies, Town Planning Scheme No. 2 and the Residential Design Codes of WA (often referred to as the R-Codes).

### **DEVELOPMENT**

NO development is to commence on any lot without the plans and specifications having been approved in writing as set out above.



## DESIGN ELEMENT 1: PRIMARY STREET ELEVATION & BUILDING APPEARANCE.

### The following guidelines apply:

- All dwellings must have a:
  1. A habitable room overlooking the primary street and/or Public Open Space and incorporate at least one window within the primary facade. Windows must be clear glazed and at least 12c high and 1.2m wide. This can be achieved by using single or multiple 12c high or greater windows.
- A secondary feature colour or building surface material, such as render, brick, stone, timber cladding or weatherboard.
- At least one of the following front elevation features must be used in the primary street elevation to provide visual interest and promote variety in the built form articulation:
  1. A portico min depth 1.5m with separate post/posts, pillar/pillars or pier/piers.
  2. A balcony to an upper floor room.
  3. A verandah min. 2.8m wide and min. 1.5m depth with post/posts, pillar/pillars or pier/piers, either a separate roof or contained under main roof.
- In addition to the above, but excluding lots less than 13m in frontage, at least one supplementary front elevation feature must be used in the primary street elevation to provide visual interest and promote variety in the built form articulation:
  1. Roof feature such as a gable or gablet.
  2. Projecting blade or parapet wall in a feature material or colour (with a minimum projection of 300mm above the eaves). Where a parapet wall is proposed, the gutter must be concealed.
  3. Projecting corbel (with a minimum projection of 40mm).
  4. Built in planter box.



Laneway access home front elevation examples

- Overly bright or primary colours are not permitted on the primary or secondary street elevation. Colours should be neutral or complementary "earthy" colours and must be submitted for approval.

### For lots less than 13m wide, the following will apply:

- No two identical dwellings are to be constructed adjacent to each other. The use of complementary materials and colours are permitted, however, there must be identifiable differences in the primary elevations.

## DESIGN ELEMENT 2: CORNER LOTS.

### The following guidelines apply:

- To promote security and provide visual interest, dwellings on corner lots must address both the primary and secondary streets. This is to be achieved through the incorporation of windows and by extending the primary street elevation materials onto the secondary street elevation for at least 4m measured back from the lot truncation point closest to the secondary street boundary.
- There are to be no blank walls visible from public areas or streets.

## DESIGN ELEMENT 3: ROOFSCAPES.

### The following guidelines apply:

- All traditional hipped and gabled roofs are required to have a minimum 24 degree pitch.
- Skillion roofs are required to have a minimum of 10 degree pitch with a maximum of 15 degrees allowed.

- Any flat roofs are to be hidden from public view (from primary/secondary streets or from any public space) through the use of parapet walls.
- Curved roofs are not permitted.
- Black, very dark or very bright roof colours are not permitted. Roof colours are generally required to be neutral or have a low visual impact and must be submitted for approval.

## DESIGN ELEMENT 4: GARAGES & CARPORTS.

### The following guidelines apply:

- The materials, design features and colours of garages/carports are to be consistent with the dwelling.
- Garages/carports must be located a minimum of 1m behind the front building line (measured from the front most habitable room on the primary street elevation and not the projection of a feature).
- Prior to occupation all garages must include a door.
- A double garage/carport adequate for at least two motor vehicles side by side is required on lots 13m or wider.
- The maximum garage/carport size is for two vehicles side-by-side.
- Only lots less than 13m wide are permitted to have single garages/carports.
- Some lots are affected by vehicular access and garage/carport locational restrictions as reflected on LDPs.
- No commercial vehicles are to be stored/parked external to garages/carports.





### DESIGN ELEMENT 5: DRIVEWAYS.

#### The following guidelines apply:

- Prior to occupation, all crossovers and driveways must be constructed and completed.
- The driveway width at the street boundary of the lot is to be no more than 6m wide.
- Driveways must not be constructed from plain, uncoloured concrete. Instead driveways may be constructed with brick or concrete pavers, stencilled or stamped concrete finishes or poured aggregate.

### DESIGN ELEMENT 6: DEVELOPER WORKS.

#### The following guidelines apply:

- Any fences or retaining walls constructed by the developer, including the entry statement, must not be removed, painted or altered in any way without prior written consent from the developer, at their absolute discretion.

### DESIGN ELEMENT 7: RETAINING WALLS.

#### The following guidelines apply:

- Retaining walls visible from the street or a public space must be constructed of materials matching those provided by the developer.
- Fencing and retaining walls provided by the Developer are not to be modified, replaced, removed or damaged in any way, including the entry statement, unless the prior written consent of the Developer, at their absolute discretion, is received.

### DESIGN ELEMENT 8: OUTBUILDINGS.

#### The following guidelines apply:

- All outbuildings and store areas must not protrude more than 300mm above any fence line.
- Building approval must be obtained from the City of Kwinana and the Developer prior to the commencement of construction.

### DESIGN ELEMENT 9: SERVICES.

#### The following guidelines apply:

- Clothes drying areas, bin storage areas, water storage tanks, hot water systems, and air conditioners must be hidden from the primary/secondary street or from public view.
- Roof mounted services including but not limited to: television aerials, satellite dishes, water tanks, hot water services and air conditioning units must not be visible from the primary/secondary street or from public reserve.
- Solar panels and collectors for hot water units are the exception to this requirement and can be orientated to maximise their effectiveness (ie. north facing) for secondary streets only.
- The purchaser must install gas appliances for the purpose of heating, cooking and hot water systems (including boosters for solar hot water systems where applicable).

### DESIGN ELEMENT 10: FENCING.

#### The following guidelines apply:

- In order to establish an open streetscape and good visibility/surveillance, front (primary street) fencing should not exceed 1.2m in height. Materials and colours must be compatible with the front dwelling elevation. Front fencing is not mandatory.
- Fencing along a secondary street boundary must be set back at least 4m, measured from the corner truncation point closest to the secondary street boundary.
- In line with the requirement for corner dwellings to address both street frontages, fencing located on the secondary street boundary forward of the 4m reference point noted above, is required to be comply with front fencing definitions.
- The balance of the secondary street fencing is to be in line with/as per the developer's feature fencing. Please refer to the image 'feature fencing' to see an example. Further information on feature fencing is detailed under the Key Definitions on the last page.



Feature fencing



- All other boundary (side and rear) fencing will have a maximum height of 1.8m and be constructed of either 'Colorbond' in the 'Grey Ridge' colour or fencing in a compatible material and colour unless varied by the Local Development Plan.
- Certain lots adjoin uniform or feature fencing provided by the developer and such fencing is not to be modified, replaced, removed or damaged in any way. See design element 6 for further information.
- Purchasers of lots which require noise control measures must refer to the Local Development Plan for acoustic management for clarification on fencing requirements. The Local Development Plan takes precedence over the Estate Design Guidelines.

## DESIGN ELEMENT II: ORIENTATION.

### The following guidelines apply:

- Dwellings must address the primary street in terms of main pedestrian entry and articulation unless otherwise stipulated by the Local Development Plan and at the absolute discretion of the developer.

## KEY DEFINITIONS

**Carport:** A self supporting structure or a structure under the main roof supported by posts, pillars or piers inclusive of a visually permeable door.

**Corner Lots:** A corner lot is defined as being located at the junction of 2 streets.

**Local Development Plan:** Planning requirements that are specific to individual lots for the purpose of varying the specific provisions under the Residential Design Codes of Western Australia commonly known as the R-Codes.

**Feature Fencing:** These fences are to be 1800mm high colorbond made up/comprising of 1500mm solid colorbond with 300mm permeable horizontal batons.

**Front Fencing:** These fences are to be 1200mm high, comprising of a solid masonry wall at a maximum height of 600mm with masonry piers and permeable infill.

**Gable:** A triangular top section of a wall on a building with a pitched roof. Gables may be in the same material as the wall or include a secondary material such as timber or weatherboard cladding.

**Gablet:** A triangular top section (small gable) at the top of a hip roof.

**Habitable Room:** Includes all living rooms, kitchen and bedrooms, but not bathrooms, WCs or circulation space.

**Front Building Line:** The external face of the forward most habitable room on the primary street elevation and not the projection of an entry feature/feature.

**Portico:** An entry feature supported by post/s, pillar/s or pier/s.

**Primary Street:** The front elevation of the home will be situated on the primary street which includes the main pedestrian entry to the dwelling.

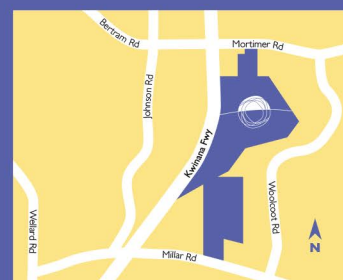
**Projecting Blade Wall:** A wall which projects forward of adjacent walls, is perpendicular to the facade and usually extends past the gutter line.

**Public Reserve:** A public reserve is any parkland, bushland, drainage or wetland designated as public open space within the estate.

**Secondary Street:** The secondary street is the road which intersects or adjoins the primary street and does not include the main pedestrian entry to the dwelling.

**Verandah:** A shading structure that may have its own separate roof and must be supported by posts or piers.

**Frontage:** The width of a lot at the primary street setback line.



For more information or to register your interest please visit  
[sunriseatwellard.com.au](http://sunriseatwellard.com.au) or call anytime on 9217 3636